



Offaly County Council  
Comhairle Chontae Uíbh Fhailí

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT  
OFFALY COUNTY COUNCIL

## Designing houses *creating homes*

*A guide for applicants on the siting and design of new houses in the Offaly countryside*

“The diverse landscape and topography of County Offaly, with its vast swathes of bog, raised eskers, rivers and belts of rich farmland, had a strong influence on settlement in the county. Historical events added another dimension; and all of these factors influenced the development of the architectural heritage of the county”.

National Inventory of Architectural Heritage 2006

“The built environment influences every aspect of our lives – through the houses we live in, the schools we learn in, the offices or factories we work in, the public buildings we enter, the places where we spend our leisure time, and even the streets in which we move about. While few people think consciously about architecture, everyone experiences it. Poor standards of design and construction represent a waste of effort, energy, materials and opportunity”.

Action in Architecture, Government Policy in Architecture

“In any and every case, the character of the site is the beginning of the building that aspires to architecture”.

Frank Lloyd Wright, 1937

**Prepared by:** Gordon Daly, Senior Planner and Rachel Mc Kenna, Senior Executive Architect, Offaly County Council, 2008.

**Cover:** The cover of these guidelines is a reproduction of an original acrylic painting on canvas by Gerry Fox, Offaly County Council, entitled "Landscapes of Offaly". It depicts various Offaly landscape features including the Slieve Bloom Mountains, Clonmacnoise, peatlands, eskers, the Grand Canal and the spire of the Church of Assumption, Tullamore. The house is a reminder that well sited and designed houses can also contribute to our landscapes.

**Please note:** This booklet is intended as a guide only in relation to the area of rural house design. The examples in this booklet are illustrative only. They are a response to their own unique set of circumstances and may not be transferable. This guide does not deal with eligibility or local need in terms of planning policy and other issues such as road safety and public health nor does it deal with other codes such as the Building Regulations. Please consult the current Offaly County Development Plan for more information on other planning matters. For an introduction to these other issues it is recommended that you obtain a 'Planning Information Pack' available from the Planning Office, Offaly County Council.

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## INTRODUCTION

If you have chosen to read this booklet it means you are probably considering or have decided to apply for planning permission to build a house in the Offaly countryside. It is an important time, an exciting time but also a major challenge to get it right. You are creating a home as well as designing a house. You want it to be comfortable, safe and an asset into the future. This booklet is intended to help you.

These guidelines look at the various stages that you need to consider to (finally) be able to turn the key in the door – from choosing the right site to deciding the finished materials. It is not a book of house plans to choose from and it will not design the house for you but it will help bring you in the right direction.

The most important next step after reading this guide is to choose a good designer. Choose very carefully. The best builders and tradesmen will not rescue a poor design – you will only, after all, get what is shown on your plans. The person you choose should have architectural design training and experience – generally, though not always, a professional architect.

Look at other work they have done, talk if you can to previous clients. Be prepared to consider

spending more money on the design – if you feel you have found the right designer for you. It will be money well spent.

Look to build a smart house with a focus on sustainability and energy efficiency i.e. better designed and better finished, keeping in mind ever increasing energy costs. A small reduction in the size of the house can help reduce energy costs and offset the initial investment in an energy efficient design. It will be a more enjoyable home to live in, entertain family and friends and is more likely to increase in value. You will also be secure in the knowledge that you are doing your bit to ensure the protection and enhancement of the character and environment of rural Offaly.

These guidelines will also be of use to planning officials in the local authority and agents submitting planning applications, but they are mainly aimed at you, the applicant. Their purpose is to be helpful and to give an understanding of the issues concerned with achieving good siting and design. They are not intended to restrict personal taste, stifle the imagination or introduce sameness. On the contrary, modern/contemporary designs on a suitable site are welcomed.

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# SECTION 1 : SITE LOCATION AND SITE LAYOUT

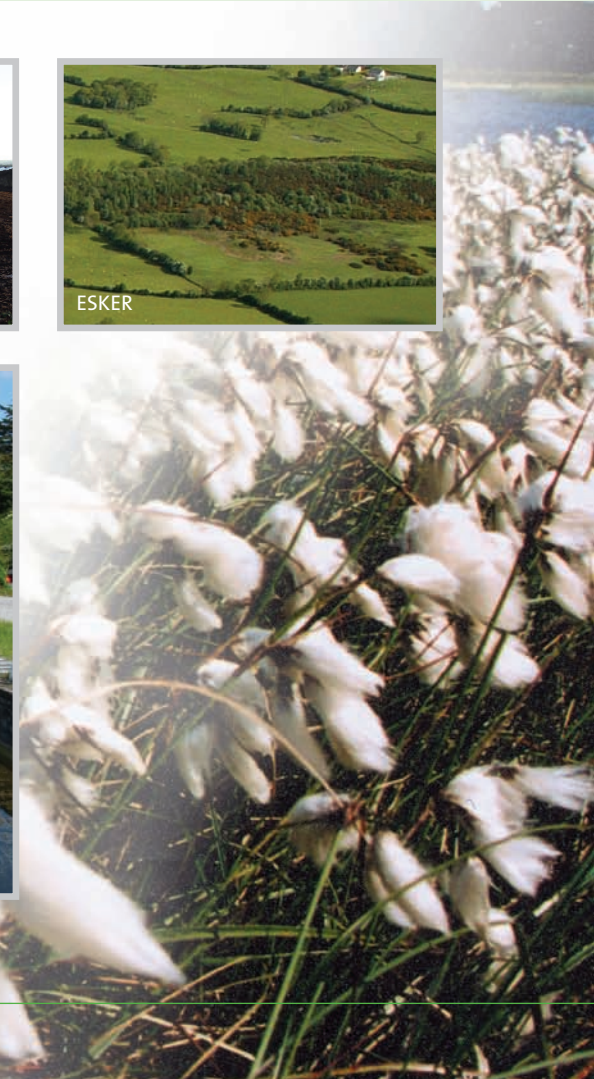


*This section deals with both choosing the right site and how best to approach the site layout. The key message is to ensure that any new house fits into and enhances the landscape, rather than detracting from it. This will also make for a more comfortable and economic home.*

## SITE LOCATION

Offaly is a very attractive county with its own unique character and sense of place. If you are a native of the 'Faithful' county, or have chosen to live in Offaly, you are part of a collective responsibility to ensure that it can be enjoyed by future generations. Well designed and sited houses can actually enhance the landscape.

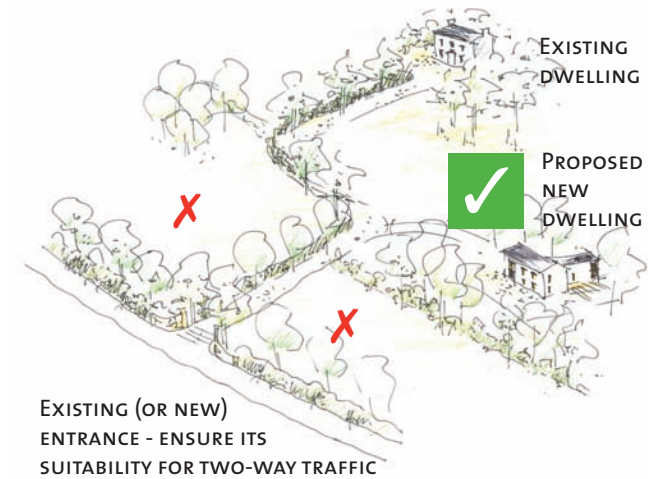
The county can be broken down into a number of different landscape types namely *esker landscape, rural and agricultural landscape, boglands, cutaway bogs, River Shannon floodplains, the Grand Canal corridor, upland areas* such as the Slieve Bloom and Croghan Hill, *wetlands and archaeological and historical landscapes*. In choosing a site location and deciding on a site layout you therefore need to be conscious of this wider canvas.



## SITE LOCATION: WHAT TO AIM FOR AND WHAT TO AVOID

- ✓ The appropriate siting or location of a house is every bit as important as the design. Aim to choose a site that will allow the house fit into and enhance the landscape - not detract from it. Choose your site after careful consideration. Explore different options if you have a landholding. If you are a purchaser, exhaust all options before settling on a site. Purchase a site subject to planning permission.
- ✓ Consider if the site has any existing architectural, environmental, landscape or archaeological designations.

- ✗ Avoid creating linear/ribbon development particularly at the edges of towns and villages.
- ✓ The size of the house that you plan must be relative to the size of the site. A large house will need a large site and a landscape in which it will not be the dominant feature.
- ✓ Where there are a number of immediate family members seeking to build, a co-ordinated clustered approach could be considered in consultation with the planning authority.
- ✓ In order to maximise the enjoyment of new houses and to limit their visual impact, they



are generally best located as far back from a road as possible.

- ✓ The use of existing laneways, or building in a site behind the immediate road frontage, is encouraged if it can be demonstrated that there will be no impact on the visual and residential amenities, current/future, in the area.
- ✓ Choosing a site location and site layout are closely linked. The tips to follow on site layout should inform actual site location in the first instance.



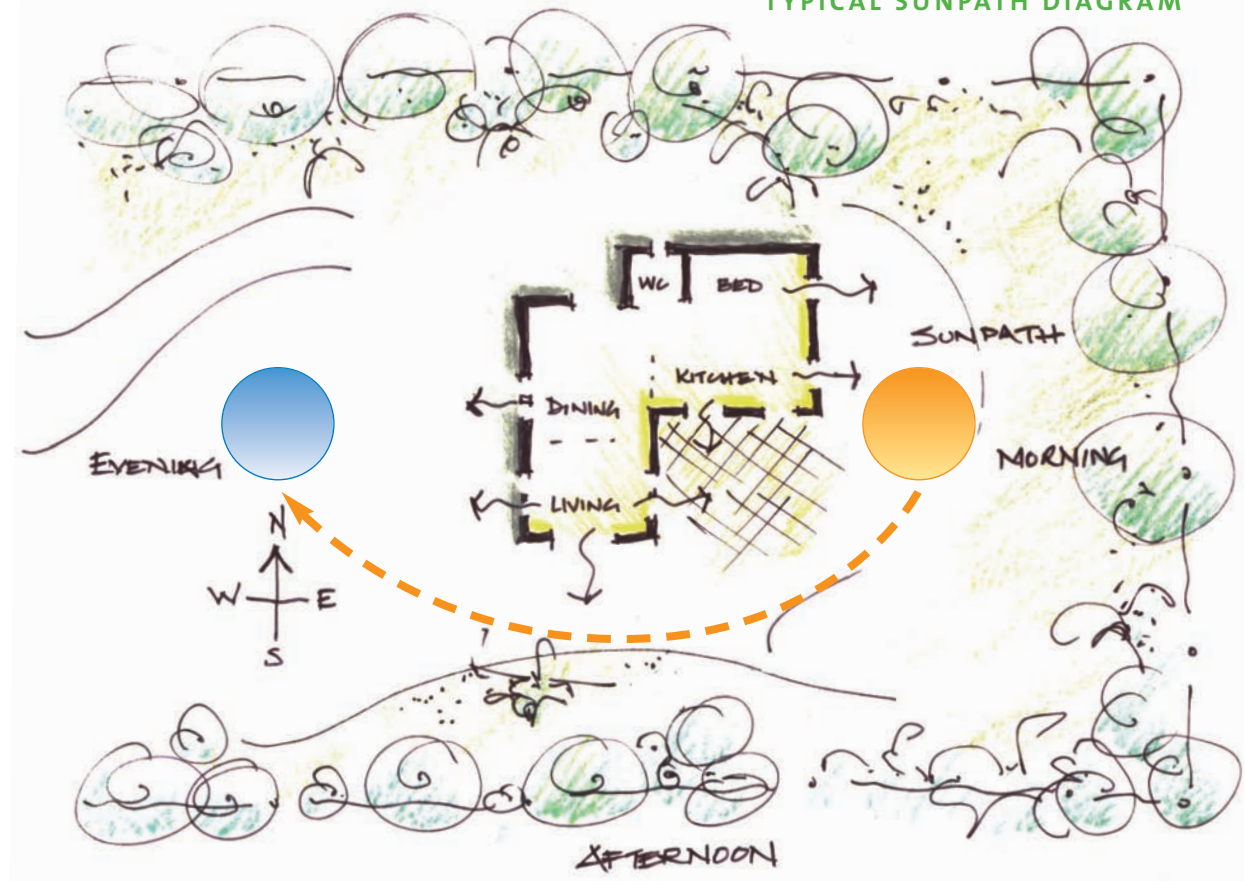
## SITE LAYOUT: WHAT TO AIM FOR AND WHAT TO AVOID

- ✓ Determining the best layout should begin with a detailed site analysis. Identify existing features, prevailing winds, views to and from the site and sunshine patterns.
- ✓ Identify and use the natural sheltering features of the site; folds in the land or contours, existing trees and hedges.
- ✗ Do not break the horizon or skyline or build on the highest part of the site. Avoid breaking views of water e.g. rivers and lakes.



- ✓ Design and orientate dwellings to take account of site topography, increase wind shelter and optimise the benefits of sunlight, daylight and solar gain.
- ✓ Sunlight provides a feeling of warmth and well being. Adequate daylighting can contribute significantly to the creation of a satisfactory living environment and, together with passive solar gain, can also help reduce energy consumption and heating costs.
- ✓ Maximise the benefits of sunshine with living spaces and sheltered outdoor areas facing south or west and bedrooms facing east.
- ✓ Minimise and grade excavated material to help reduce the impact of any new dwelling.

### TYPICAL SUNPATH DIAGRAM



- ✓ Reduce where possible, cutting and filling into hills which can leave the landscape scarred.



- ✓ Driveways should respect existing contours and ensure that they do not have a greater visual impact than the house itself.

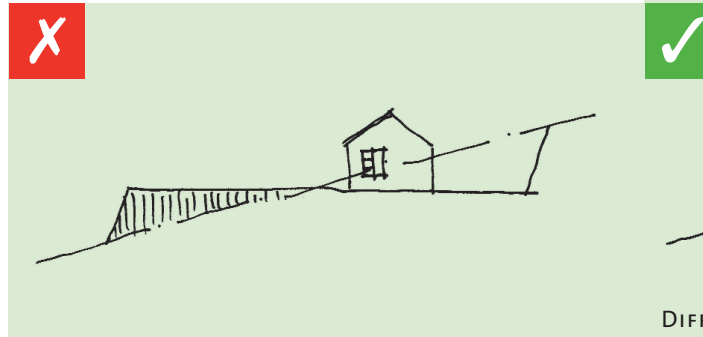
- ✗ Avoid a sense that a house has been “dropped into” the landscape.

- ✓ Remember that a site “can be seen from everything it can see”. Being partially visible may be acceptable. Avoid being visually obtrusive.

- ✓ If visual and residential amenity impacts can be avoided, houses do not have to be parallel to the road which can allow for better use of sunlight and other conditions.

- ✓ Avoid straight building lines where possible. Consider stepping back the dwelling from an existing house. If a considerable step back could create overlooking, it may be possible to line up the front wall of the new house with the rear wall of an existing house.

- ✓ Remember even an award-winning design cannot redeem poor siting.



# SECTION 2 : SCALE AND FORM



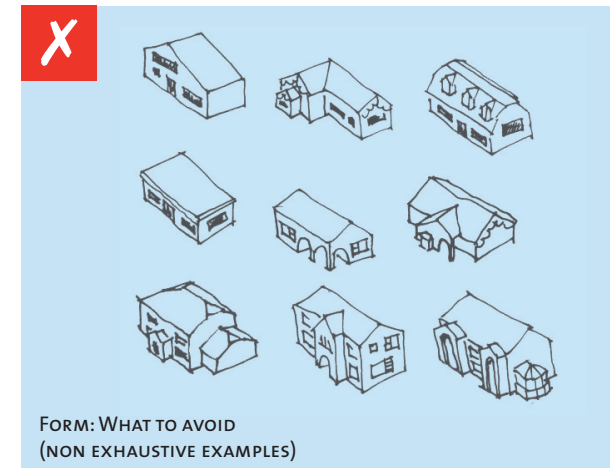
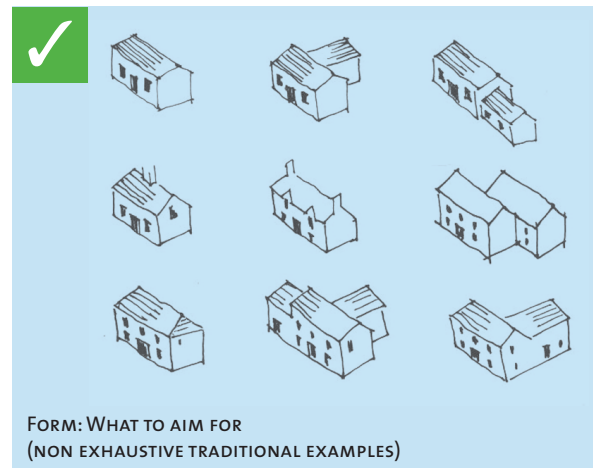
*This section provides advice on how to achieve appropriate scale and form. The key message is to ensure that the size of the house is in harmony within its site and surroundings, and that it is generally a combination of simple forms. Bolder forms or a modern design on a suitable site are also welcome.*

## SCALE AND FORM: WHAT TO AIM FOR AND WHAT TO AVOID

- X** Avoid a house that is oversized for its site, the landscape into which the house is to be placed and surrounding features and buildings.
- X** Avoid large, wide, ill-designed gables to the road. Historically, gables were predominantly solid with relatively small openings.

- ✓** Aim to get the form right and avoid one bulky structure. Break down into smaller elements and remember simple forms are best.
- X** Avoid wide/deep plan houses. They will appear bulky and squat. Narrow plan houses generally make better use of sunlight and daylight.
- X** Avoid awkward and foreign built forms.

- ✓** Proportion is all important. It provides for a harmonious arrangement of the component parts.
- ✓** Generally getting the right scale – form and proportions should be the focus. The correct height will follow from that.
- ✓** Look at how traditional farmyards created sheltered courtyards







**X** Foreign roof forms such as Dutch hipped, mansard and Swiss roofs should be avoided.

**✓** Where a pitched roof is used it should generally be between 35-55 degrees.

**X** Avoid mid roof dormer designs and those with an oversized top heavy roof space. These lead to an unbalanced appearance where the roof becomes the dominant feature.

**✓** Where first floor accommodation is required, single storey with attic development lit by roof lights or wall plate dormers (i.e. storey and a half house) are more preferable to mid roof dormers.



AVOID MID-DORMER ROOF DESIGN



USE ROOFLIGHTS TO SIMPLIFY ROOF FORM



STOREY AND A HALF HOUSE

**✓** A well designed two storey house on a suitable site can also fit well into the landscape. There are many fine examples around the county which could be interpreted in a modern fashion.



**✓** Finally, the planning authority is not looking to achieve sameness in house type; bolder forms and modern designs on suitable sites are also welcome along with more traditional forms.



# SECTION 3 : DESIGN



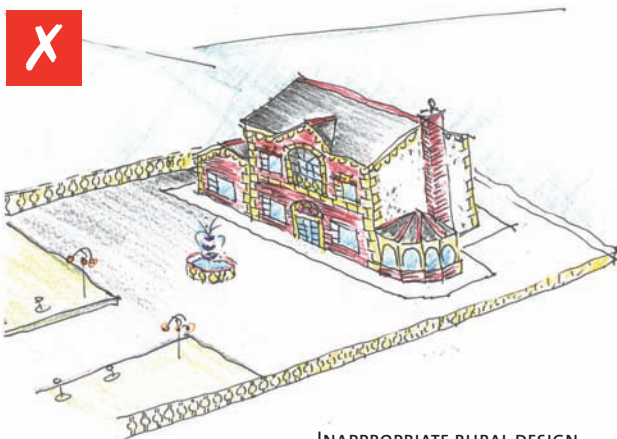
*This section looks at design and architectural style. The key message is that the house must be suitable to its rural area. Avoid urban or suburban designs, complex or monotonous designs. Traditional designs and particularly modern / contemporary design where appropriate are welcome.*

## DESIGN: WHAT TO AIM FOR AND WHAT TO AVOID

- ✓ The first step in getting the design right is to choose the right site and location within that site and to achieve an appropriate scale and form. The actual final design, if it is to work, must evolve from these initial steps.

- ✓ It is not the purpose of these guidelines to be prescriptive or stifle taste or imagination. There are likely to be a multitude of designs that are suitable to a site.
- ✓ Have a look at older houses in the locality and use them to gain visual clues for the design of your home. Offaly has a particularly rich architectural heritage.

- ✓ These traditional forms can be considered in a modern context by a skilled designer. There are however, plenty of more recent examples throughout the country of poor design, which should not be viewed as a precedent. Standards of design should increase over time.
- ✓ Where possible use locally sourced materials.
- ✓ Appropriate design in a rural context can be either traditional or a modern interpretation of same or a more bold modern or contemporary design if properly executed.
- ✓ In some cases all that may be needed to sufficiently improve a design are elevational changes and a better standard of external materials.
- ✗ Avoid suburban, urban and other fussy, tired and complicated designs. They are often a “pick ‘n’ mix” of different styles and are unsuited to a rural area. Remember the saying “less is more, more is less”.



INAPPROPRIATE RURAL DESIGN  
COMPLICATED VARIETY OF UNSUITABLE MATERIALS

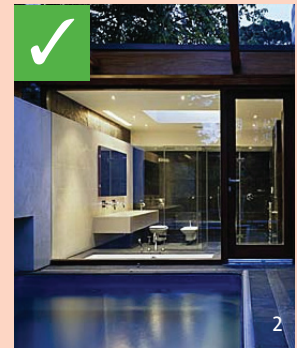
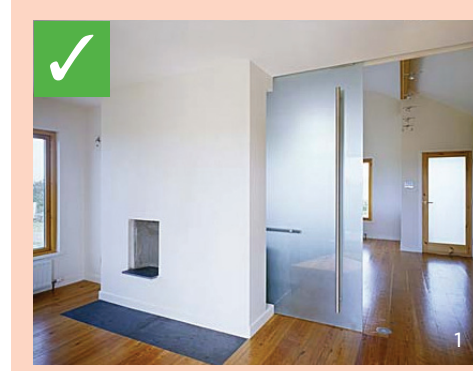


SAME HOUSE PLAN WITH SIMPLE DETAILS AND MATERIAL



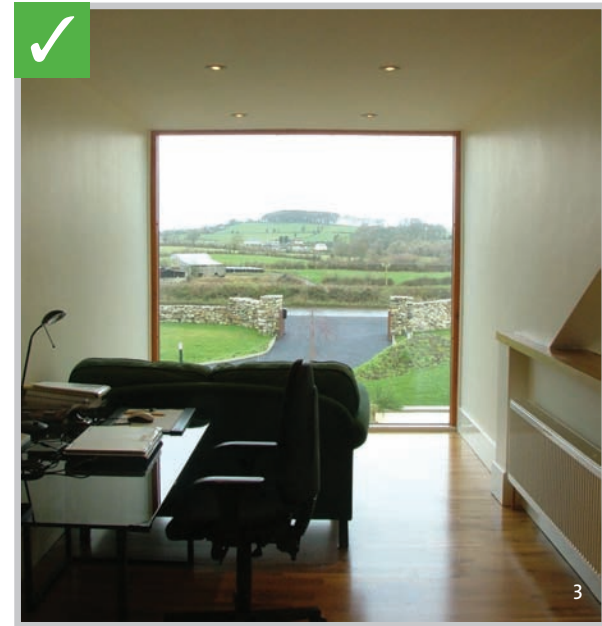


✓ Consider carefully the internal arrangement and design of the house. It needs to be functional and make good use of space. Ensure that required uses are not being duplicated resulting in costly unnecessary rooms.



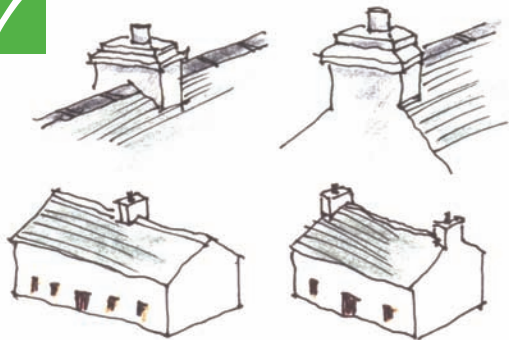
“SIMPLICITY IS THE ESSENCE OF GOOD DESIGN”.

OVERLY COMPLICATED MIX OF FEATURES AND MATERIALS



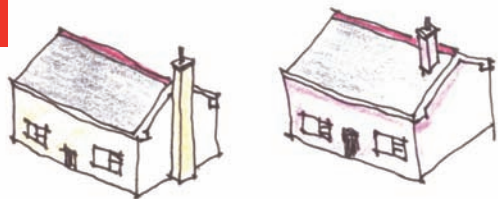
## CHIMNEYS

Chimneys can contribute significantly to the character of a house if properly executed. They should be located through or as close to the ridge as possible. On gables they should remain flush with the wall. They should be substantial and robust in appearance. Chimneys can be used to incorporate passive ventilation for bathrooms or radon sumps.



### GOOD CHIMNEY DIVISION

1. THROUGH AND ACROSS THE RIDGE
2. FLUSH WITH GABLE

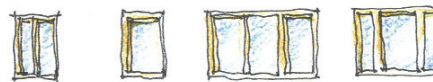


### POOR CHIMNEY DIVISION

1. TALL THIN CHIMNEYS PROTRUDING FROM GABLE
2. AWKWARDLY POSITIONED IN ROOF

## WINDOWS

Windows are an important element of house design and often referred to as “the eyes of a building”. Windows with a vertical emphasis generally work better as they help balance the width of the building. Aim for a high solid to void ratio i.e. less window, more wall. Proportion is important as is avoiding introducing a number of different sizes and styles. Try to balance ground and first floor openings. A well designed/ orientated window can significantly enhance a building.



### GOOD WINDOW DIVISION – GREATER VERTICAL EMPHASIS



### POOR WINDOW DIVISION – UNSYMMETRICAL, UNBALANCED, HORIZONTAL



### EXAMPLES OF TRADITIONAL HOUSE WITH AND WITHOUT BAY WINDOWS

## BAY WINDOWS

Bay windows were traditionally not a feature of rural dwellings, but can be used in a modern context provided that they do not lead to an over fussy appearance, are appropriately designed and used in proportion with the house and finished with appropriate materials. Ensure the bay window is symmetrically located. Other options include working the bay into the overall roof.



### POOR BAY WINDOW DESIGN



### WELL DESIGNED BAY WINDOW INCORPORATED INTO THE ROOF

## DOORS

Generally aim for simple sheeted or panelled timber doors. Limit the use of decorative glazed areas. Create an entrance without dominating the façade. Consider the style and location of light fittings and keep them as simple as possible. Try to design the location of meter boxes so that they are recessed or to the side of the main elevation. Try also to locate larger garage doors to the side and aim for a vertical sheeted finish.

## PORCHES

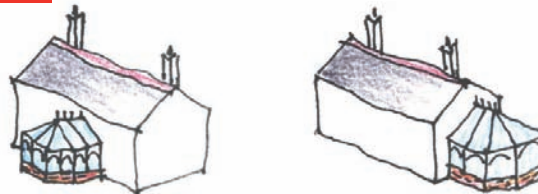
Porches can play an important role in energy efficiency; they act as a buffer zone while providing an internal lobby and help to reduce heat loss. Avoid false classical styles, arches or other fussy porch details.



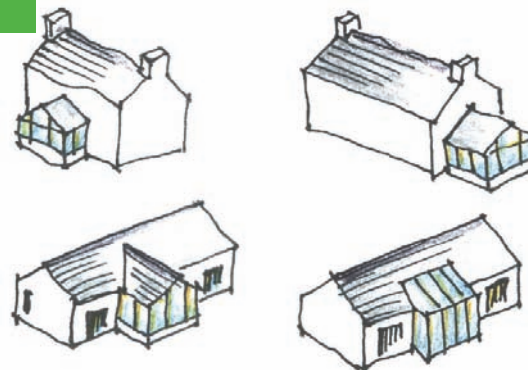
Where a porch is required, keep it simple. Consider the use of an internal porch.

## CONSERVATORIES

Ensure that conservatories or sunrooms are designed to form an integral part of the plan and not merely added on to the side of your house. Consider carefully its orientation, and locate it facing towards the south. Sunrooms should be used to maximise passive solar heating gains and help reduce energy costs. Ensure that it is in scale with the rest of the house, is well detailed, correctly ventilated and well constructed.



POOR CONSERVATORY DESIGN



GOOD CONSERVATORY DESIGN

1. 'A' PITCH SOUTH-FACING TO REAR OR SIDE
2. PROJECTED GABLE TO REAR OR INTEGRATED LEAN-TO

## GARAGES



Locate sheds or garages to provide sheltered external spaces – as with traditional rural houses and outbuildings, rather than positioning them in isolation from the main house. Try to design their entrance so that large double doors are located to the side.

## BALCONIES



POOR BALCONY DESIGN WITH ORNAMENTAL RAILINGS

Where balconies are deemed appropriate ensure that they do not dominate the façade, and that the materials used are in keeping with the rest of the design.

Good design should take valuable lessons from the past while drawing on professional expertise to create a beautiful asset for all of the family to enjoy.

*These are examples of traditional design.*



*These are examples of more modern and contemporary design.*



## SECTION 4 : MATERIALS, FINISHES AND COLOURS

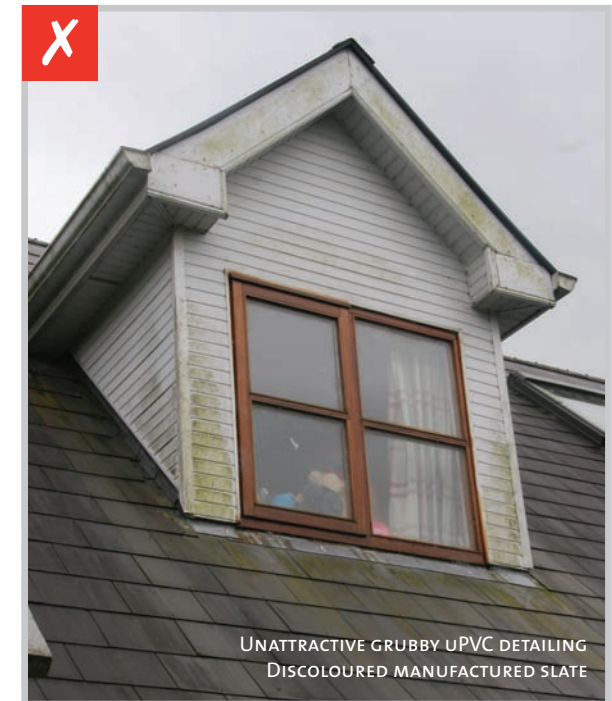


*This section examines external materials, finishes and colour. The key message is to avoid over elaboration and aim for a small number of high quality materials and finishes.*

### MATERIALS, FINISHES AND COLOUR: WHAT TO AIM FOR AND WHAT TO AVOID

- ✓ External materials are best kept simple. Use a small number of high quality finishes.
- ✓ Consider as an option, omitting eaves and roof overhangs. Clean simple lines with good detailing can give a more crisp appearance.
- ✓ Use natural slate where possible. It is real stone and will last for several generations and looks better with age. It is more expensive but it is a far superior product to look at than manufactured varieties and will add value to your home.
- ✓ Slates should be dark in colour except in rare circumstances where a differing architectural style prevails and is being interpreted in a modern context. Do not mix colours of slates and roof tiles as shown below.

- ✗ Generally avoid white uPVC fascia and soffit, black looks better and is easier to maintain. It is preferable to use a plaster finish around dormer windows.



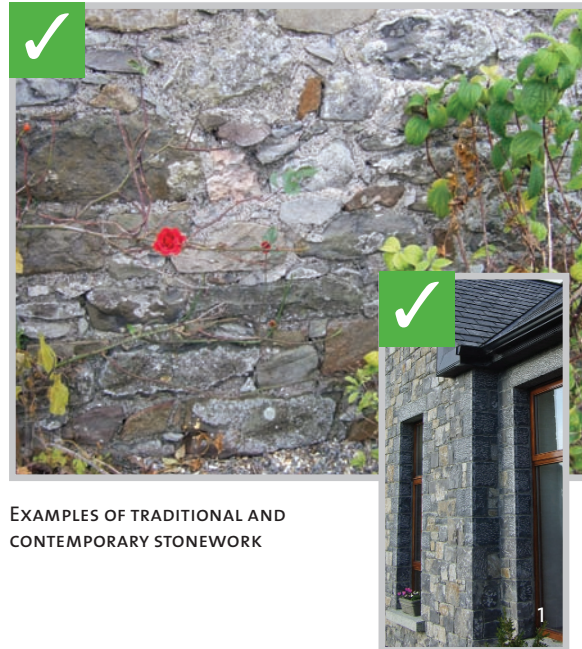




✓ Use simple round black rainwater goods, copper, aluminium or cast iron where appropriate. Avoid square profile white uPVC rainwater goods. Consider how the layout of waste/rainwater pipes etc. will affect both the front and rear elevation of your home.

✗ Avoid dry dash, brick and artificial stone. They are finishes generally unsuited to rural areas.

✓ In the past, cut stone was mainly a construction material and not a decorative material. Stone was generally only used in public buildings such as schools and churches



EXAMPLES OF TRADITIONAL AND CONTEMPORARY STONEMWORK

and unplastered rubble stone in out buildings. It should be used carefully and sparingly. Consider the distance of its source and the landscape impacts from quarrying.

✓ For doors and windows use the highest standard materials that you can afford. Avoid windows that attempt to create a Georgian effect with thin plastic strips. They give a flat 'dolls house' like appearance. Windows in the past were generally of painted timber. It is preferable not to use uPVC windows but good quality sustainable timber, when properly cared for, can last up to twice as long as uPVC. Lighter and pine type colours can be used to good effect to give a contemporary feel.

✓ Always use deep cills to give greater definition to the windows. Stone cills, although more expensive, are a superior detail if common to the locality and will not add substantially to the overall building cost. Generally avoid quoins unless a strong feature in the locality.

✓ Generally light soft colours should be used on main walls. They provide an attractive palate against which to set dark coloured roofs and strong door and window colour. Garish, bright or unnatural colours should be avoided.



## SECTION 5 : ROADSIDE BOUNDARY TREATMENTS

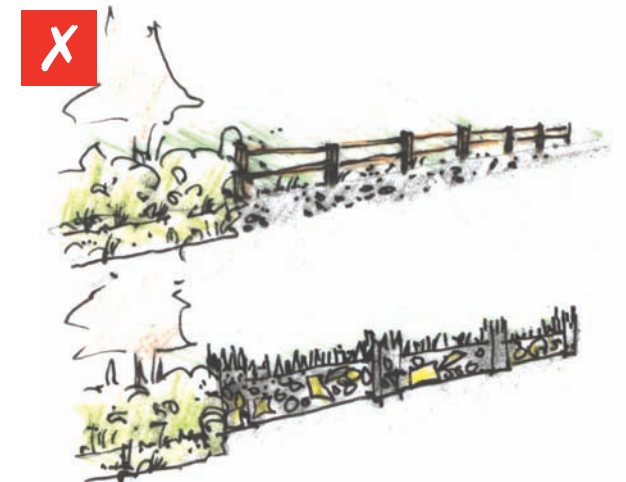


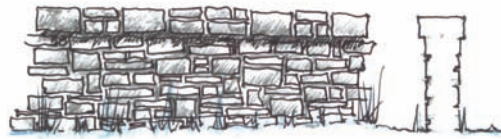
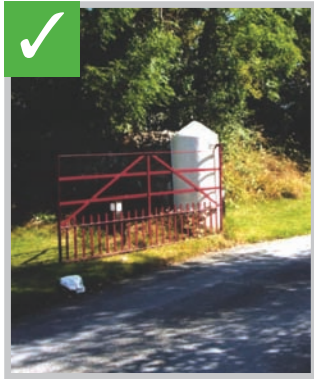
*This section deals with boundary treatment. The greatest visual impact of built development in the countryside is frequently created by new entrances to house sites. The key message is that making an entrance to a site can form the first and lasting impression of the overall design and it is something which must be given careful thought with an emphasis on retaining what is already there.*

### ROADSIDE BOUNDARY TREATMENTS: WHAT TO AIM FOR AND WHAT TO AVOID

In many cases, good work in the design and siting of a house can be undone by inappropriate front boundary treatment. The same rules apply as for siting and design. It should be appropriate to its rural context but this is frequently not the case.

- ✓ Aim to retain the existing front boundary where possible by just making a simple splayed or bell mouthed opening.
- ✓ If traffic safety requires that it must be set back always aim to re-establish what is existing i.e. hedgerow for a hedgerow, stone for stone wall.
- ✓ Random rubble walls are more preferable as they help encourage nesting/plant growth - biodiversity.

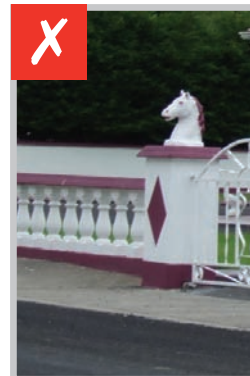
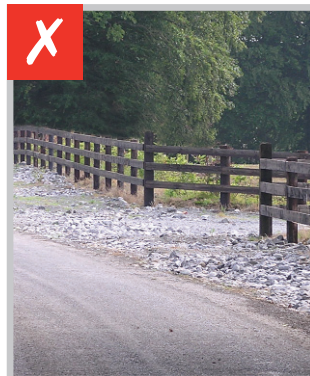




- ✓ In rural Offaly, earth, sod, stone and native hedgerows are the predominant roadside boundary, with some examples of low rendered walls with simple capping details. If the entrance has to be set back, view it as something that can be easily re-established and that is simple, economic and easy to maintain. The area between the new boundary and the road edge should be grassed and not finished with a hard surface.
- ✓ To help establish new natural boundaries – plant the new native hedgerow at the commencement of building works. Also remember that native hedgerows, as well as being visually attractive and offering screening and privacy, are important wildlife corridors. New hedgerows should be linked to existing to facilitate this.

Where there are already varied boundaries try not to add to this complex mix. Using the previous tips set a positive trend for other new dwellings.

- ✓ Gates should be of a simple design – metal or wood and with a strong horizontal emphasis.
- ✗ Avoid replacing indigenous boundaries with insubstantial fencing, blockwork walls, post and wire fencing, concrete balustrading, Leylandii or other dense conifer planting.



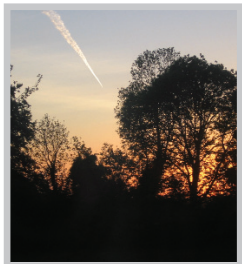
# SECTION 6 : LANDSCAPING



*This section deals with landscaping. In most situations, the existing field boundaries and landscape elements are an inseparable part of the larger landscape, and this critical issue is often forgotten. The key message is that all possible efforts should be made to preserve, retain and integrate trees, hedgerows, walls and other landscape features. By conserving these patterns it is easier to create a landscape sensitive solution.*

## LANDSCAPING: WHAT TO AIM FOR AND WHAT TO AVOID

- ✓ New dwellings should make full use of any existing mature planting and also seek to create sheltered situations through the planting of native trees and hedgerows. Ensure any existing trees are adequately protected during construction.
- ✓ A good shelter belt serves the dual purpose of screening a new dwelling from beyond the site, while providing an inspiring microclimate within. It can also help with savings in heating costs.

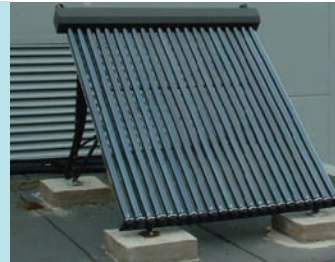


✓ Good landscaping can soften the outlines and reduce the dominant appearance of new buildings and help harmonise them with their surroundings.

- ✓ Consider planting a wildflower meadow. Encourage biodiversity where possible, plant semi mature tree groups where possible to integrate new houses.
- ✓ Hedgerows should only be cut between 1st Sept and 28th Feb under the Wildlife Act.
- ✗ Avoid/reduce suburban plant species and symmetrical garden layouts. Reduce mowed lawn areas. Learn from your surroundings.
- ✗ Avoid surrounding the house with hard landscaping which will divorce it from the natural context of the site. Avoid tarmac and brick driveways. Aim for self-draining gravel which has a less harsh urban appearance and avoids water run off.
- ✗ Avoid floodlighting of sites, decorative lamps and other suburban features, consider their impact.



## SECTION 7 : SUSTAINABILITY AND ENERGY EFFICIENCY



*This section deals with sustainability and energy efficiency, the key message is to design and build your new house so that it will use as little energy as possible by minimising heat loss and increasing solar gain. This will ensure that you are investing in a future proofed home.*

### SUSTAINABILITY AND ENERGY EFFICIENCY: WHAT TO AIM FOR AND WHAT TO AVOID

- ✓ The EU Directive on the Energy Performance of Buildings has introduced mandatory energy rating for houses, and the requirement that Energy labels (Building Energy Rating BER Certificates) are available for each house. Similar to electrical appliances, there will be a rating A, B, C, D etc, with A for the most efficient. You should aim, with your designer and builder, to achieve the highest possible energy rating. It will future proof your home and ensure that it retains its value.
- ✓ Position your house on site to take maximum benefit from solar gain, (see p4 sunpath diagram).
- ✓ Reduce energy consumption by extra insulation, passive solar design (provide larger areas of south facing glazing) and energy efficient components.
- ✓ Explore the use of renewable energy technologies e.g. solar panels, wood pellet boilers, heat pumps, micro wind turbines. Grants are available to help with some of the additional initial costs. Sustainable Energy Ireland is an excellent source. For further information refer to [www.sei.ie](http://www.sei.ie)
- ✓ Use environmentally friendly materials, renewable timber sources, natural materials locally sourced (where possible) and recyclable materials.
- ✓ Reduce water consumption by using grey water from the roof for washing and toilets.
- ✓ Include a covered, external clothes drying area and reduce the need for costly tumble dryers.
- ✓ Conserve vegetation and landscapes to help maintain biodiversity



MICRO WIND TURBINE

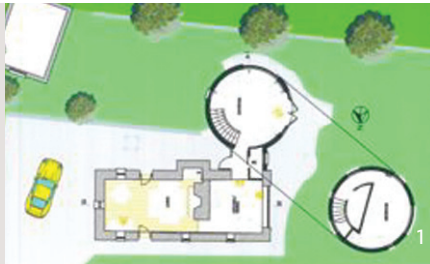


SOLAR PANELS



WOOD PELLET STOVE

# SECTION 8 : ACCESSIBILITY, LIFETIME ADAPTABILITY AND EXTENSIONS



*This section deals with the accessibility of your home for both the home owner and for visitors. It deals with lifetime adaptability – how your home should be able to adjust as occupants get older and their needs change. It also covers extensions and how we should consider providing a good quality extension before considering building a new home. The key message is to plan for change.*

## ACCESSIBILITY, LIFETIME ADAPTABILITY: WHAT TO AIM FOR

- ✓ Design an adaptable house for lifetime cycle use, plan for a future downstairs bedroom. Ensure that the house is fully compliant with the current Part M of the Building Regulations. Consider going beyond the minimum requirements.
- ✓ Refer to documents such as ‘Buildings for Everyone’ by National Rehabilitation Board or [www.nda.ie](http://www.nda.ie).
- ✓ Radon accounts for approximately 55% of Ireland’s total radiation. It is recommended that home owners carry out a radon survey of their home after one year of occupation (Radiological Protection Institute of Ireland RPII).

## EXTENSIONS: WHAT TO AIM FOR

- ✓ If your family expands, consider extending your own or an existing home, rather than building a new one.
- ✓ Design a house in a manner that can allow a sensitive extension in the future if necessary.
- ✓ Extensions should be kept simple and compliment the existing built form of the house. They are generally best placed to the side and rear of the house having regard to the principles of scale and form outlined in section 2.
- ✓ Extensions can also be used to good effect as in traditional farm buildings, to enclose a space or garden and create shelter.



EXAMPLES OF TRADITIONAL AND CONTEMPORARY RURAL EXTENSIONS



## SECTION 9 : SOURCES / FURTHER READING

### SOURCES / FURTHER READING

*Offaly County Development Plan*  
NIAH Architectural Heritage of Offaly, DoEHLG  
[www.buildingsofireland.ie](http://www.buildingsofireland.ie)  
Royal Institute of Architects of Ireland [www.riai.ie](http://www.riai.ie)

*Building Sensitively in the Landscapes of County Wexford*, Wexford County Council  
*Building Sensitively and Sustainably in County Louth*, Louth County Council  
*Cork Rural Design Guide*, Cork County Council  
*County Clare Rural House Design Guide*, Clare County Council

*Classic Irish Houses of the Middle Size*, Maurice Craig  
*House – The Magazine for Architect-Designed Houses*  
*Irish Countryside Buildings*, Patrick and Maura Shaffrey  
*Irish Stone Walls*, Patrick McAfee  
*Reusing Farm Buildings*, Kildare County Council  
*Stone Buildings*, Patrick McAfee

### CREDITS

All sketches by R. Mc Kenna, all photos by G. Daly and R. Mc Kenna, Offaly County Council except:

**P5-1** In-between-house by Dominick Stevens, photo Ros Kavanagh. **P7-** Castlequarter by Richard Rice/Healy & Partners. **P8-** FS House by Studio M, photo Ros Kavanagh. **P9-1** West Cork House by Kevin Gartland, photo Ros Kavanagh, **2** FS House by Studio M, photo Ros Kavanagh, **3** Interior by Denis Duggan. **P10-1** DC House by Peter Lyons. **P12-1** House at Ballyvaughan, **2** House at Doolin by Grafton Architects, **3** House at Milltown Malbay. **P13-1** Denis Duggan, **2** House in Louisburgh by Cox Power, photo Michael Mc Laughlin, **3** Weekend House by John Dorman, photo Ros Kavanagh, **4** Denis Duggan, **5** Castlequarter by Richard Rice/Healy & Partners, **6** Evelyn Duff, **7** Murrisk House by Cox Power, photo Lelia Sammon, **8** Ballyconneely by John Dorman, photo Ros Kavanagh. **P14-1** Mimetic by Dominick Stevens, photo Ros Kavanagh. **P15-1** K-House by Peter Lyons, **2** Louisburgh House by Cox Power, photo Michael Mc Laughlin. **P19** Solar panel, stove, wind turbine by Donall Mac An Bheatha. **P20-1** Extension to a Thatched House by Cox Power, **2** Extension by Bone Rowan, photo Ros Kavanagh [www.roskavanagh.com](http://www.roskavanagh.com)

### ACKNOWLEDGEMENTS

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Cover illustration: 'Landscapes of Offaly', acrylic on canvas by Gerry Fox

'The private house continues to occupy a unique position both in the history of architecture and human cultural imagination. The house, the domus, the home is at once refuge and shelter. It is the place of communion for the family (and its many contemporary variations), for domestic activities, for living, working, eating and sleeping, and in both a very public and private domain. The distracting delights of cities and social interaction are manifest, but everyone dreams of having a home.'