



Offaly County Council

Housing Capital Section

PROPOSED OPD'S AT ST SENAN AVENUE ,
EDENDERRY, Co OFFALY

Part 8

Housing Capital Section
Offaly County Council
Áras an Chontae
Charleville Road,
Tullamore, Co Offaly
Tel: (057) 9346800.
Fax: (057) 9346868

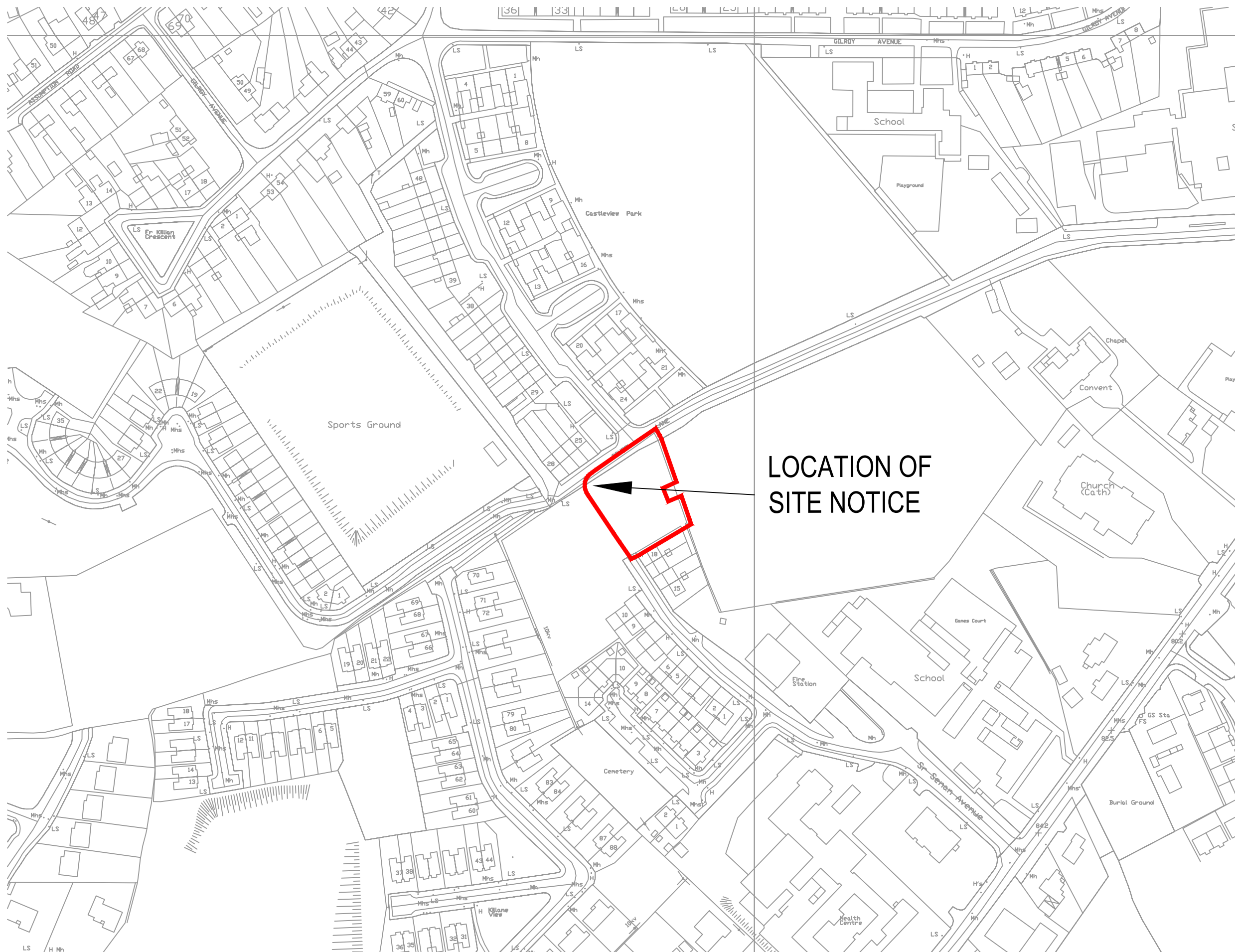

**Rebuilding
Ireland**
Action Plan for Housing and Homelessness

Ms. Sharon Kennedy,
Director of Services,
Housing Section
Offaly County Council
Áras an Chontae
Charleville Road,
Tullamore, Co Offaly



SITE OUTLINED IN RED

SITE AREA = 0.44 acres or / 0.18hectare



LOCATION OF SITE NOTICE

PART 8 ISSUE

DESCRIPTION	DATE	INIT	REV

Offaly County Council
 Housing Capital,
 Áras an Chontae, Tullamore
 ☎ 057 9346800
 Ms. Sharon Kennedy, Director of Services

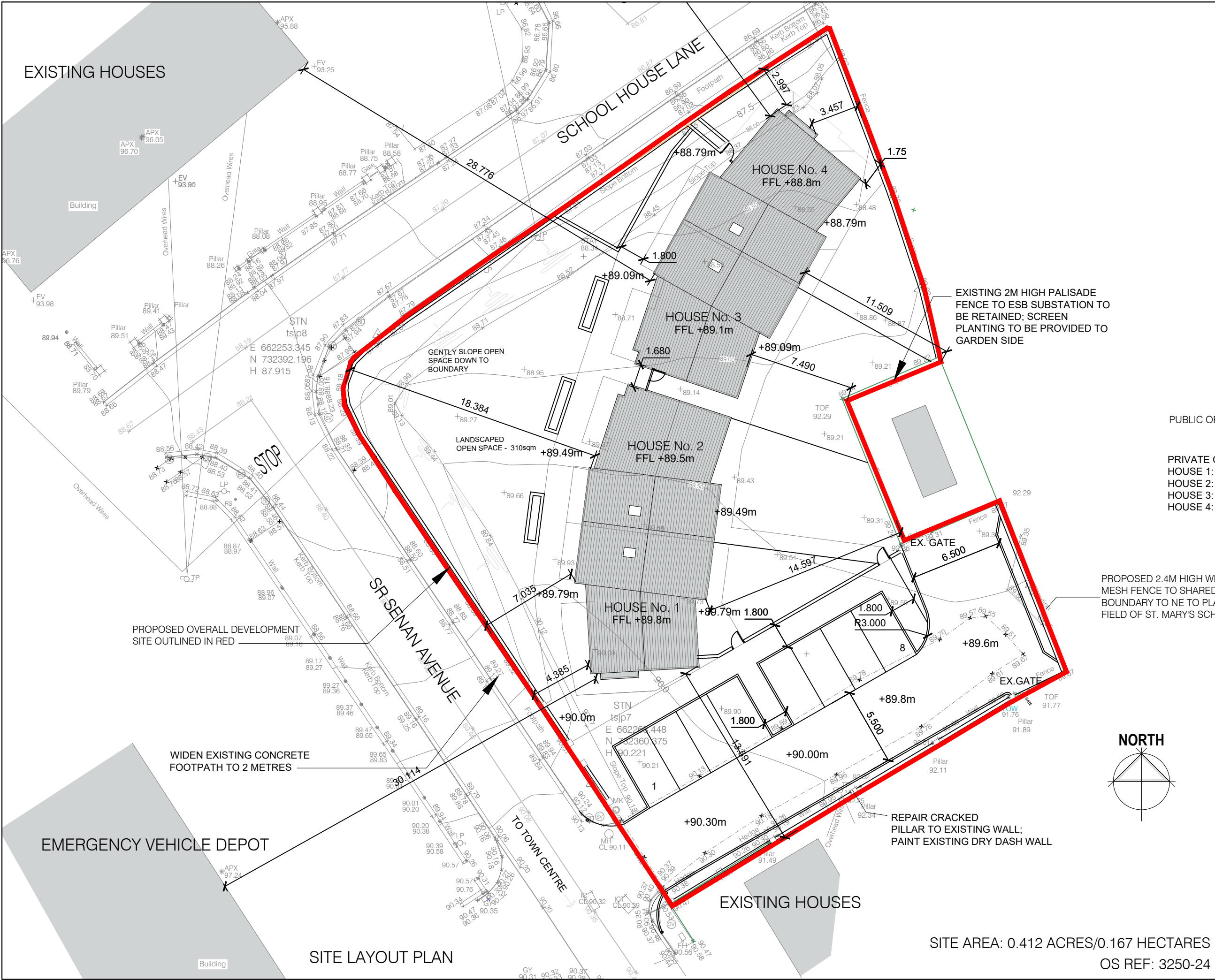
PROJECT: PROPOSED OPD'S AT SR. SENAN AVENUE, EDENDERRY, Co. OFFALY

TITLE: SITE LOCATION MAP
 SITE OUTLINED IN RED

SCALE: 1:2,000 @ A3	PROJECT No: 19-05	DRAWING No: P8-000	REVISION: -
DATE: SEP 20	DRAWN BY: E.W	CHECKED: NMG	APPROVED: J.C

Note: This drawing should not be scaled, only figured dimensions to be used. Any discrepancies to be notified to O.C.C. immediately.

SITE LOCATION MAP
 (SCALE 1:2000/A3)



EXISTING 2M HIGH PALISADE FENCE TO ESB SUBSTATION TO BE RETAINED; SCREEN PLANTING TO BE PROVIDED TO GARDEN SIDE

PUBLIC OPEN SPACE: 0.076 Acres/0.03 Hectares

PRIVATE OPEN SPACE:
HOUSE 1: 53sqm
HOUSE 2: 93sqm
HOUSE 3: 85sqm
HOUSE 4: 65sqm

PROPOSED 2.4M HIGH WELD MESH FENCE TO SHARED BOUNDARY TO NE TO PLAYING FIELD OF ST. MARY'S SCHOOL

PART 8 ISSUE

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Housing Capital,
Áras an Chontae, Tullamore
☎ 057 9346800

Ms. Sharon Kennedy, Director of Services

PROJECT: PROPOSED OPD's AT ST. SENAN AVENUE, EDENDERRY, Co. OFFALY

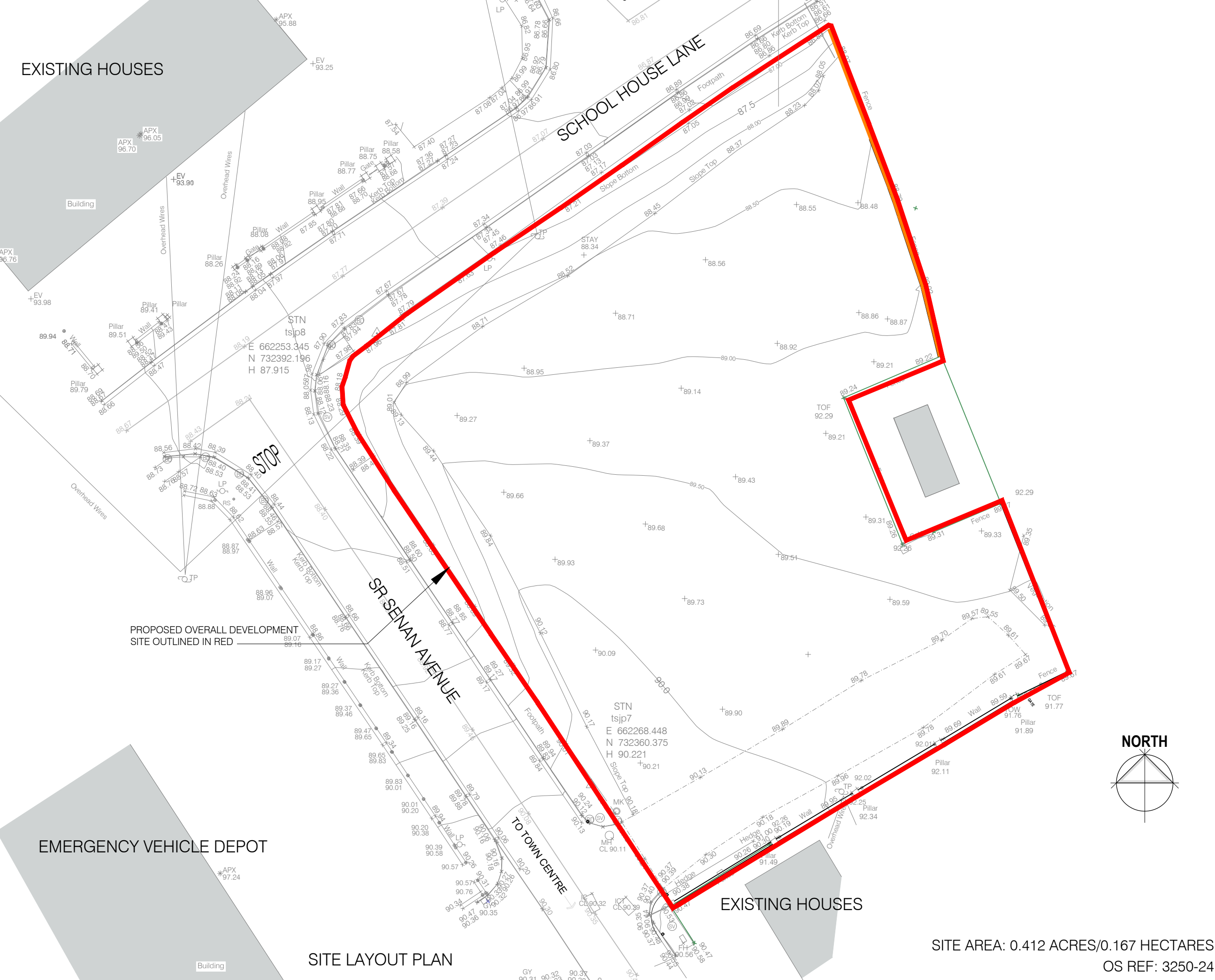
TITLE: SITE LAYOUT PLAN

SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:250@A3	19-05	P8-001	-
DATE:	DRAWN BY:	CHECKED:	APPROVED:
SEP 20	E.W	NMG	J.C

Note: This drawing should not be scaled, only figured dimensions to be used. Any discrepancies to be notified to O.C.C. immediately.

SITE AREA: 0.412 ACRES/0.167 HECTARES
OS REF: 3250-24

SITE LAYOUT PLAN



PROPOSED OVERALL DEVELOPMENT SITE OUTLINED IN RED

SITE AREA: 0.412 ACRES/0.167 HECTARES
OS REF: 3250-24

PART 8 ISSUE

DESCRIPTION	DATE	INIT	REV

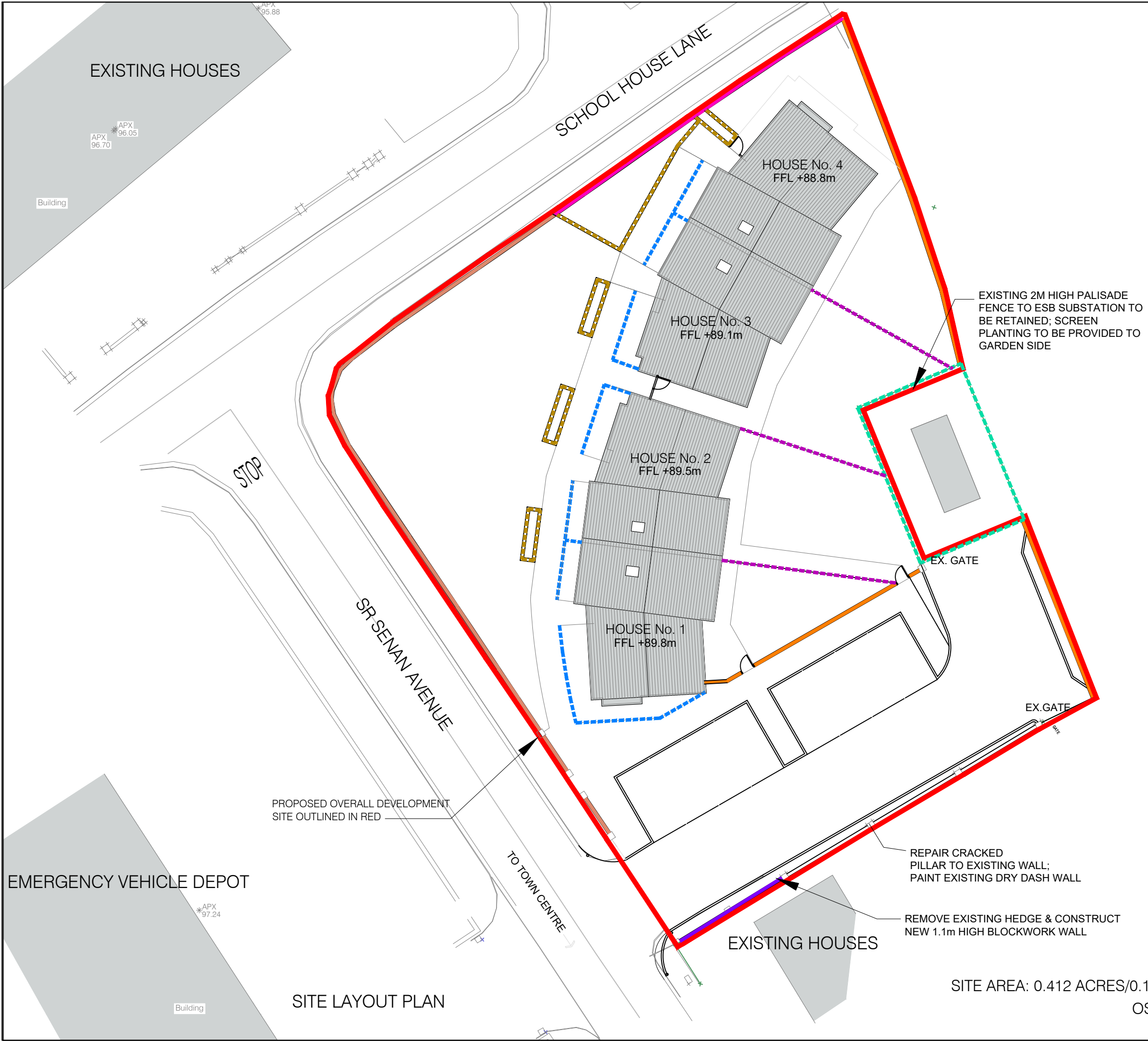
Offaly County Council
Housing Capital,
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☎ 057 9346800
Ms. Sharon Kennedy, Director of Services

PROJECT: PROPOSED OPD's AT ST. SENAN AVENUE, EDENDERRY, Co. OFFALY

TITLE: SITE SURVEY SITE OUTLINED IN RED

SCALE: 1:250@A3	PROJECT No: 19-05	DRAWING No: P8-002	REVISION: --
DATE: SEP 20	DRAWN BY: E.W	CHECKED: NMG	APPROVED: J.C

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BOUNDARY TREATMENTS:

	1.8m HIGH CONCRETE POST & PLANK FENCE
	0.9m HIGH POWDER COATED GALVANISED FENCE
	2m HIGH RENDERED BLOCK WALL
	EXISTING 2.0m HIGH PALISADE FENCE
	RETAINING WALL TO ENGINEERS DETAIL 1.1m HIGH TO INNER SIDE
	0.75m HIGH POWDER COATED GALVANISED FENCE ON 215mm INSITU CONCRETE WALL
	0.6m HIGH BLOCKWORK WALLS TO PLANTERS
	1.1m HIGH BLOCKWORK WALL

EXISTING 2M HIGH PALISADE FENCE TO ESB SUBSTATION TO BE RETAINED; SCREEN PLANTING TO BE PROVIDED TO GARDEN SIDE

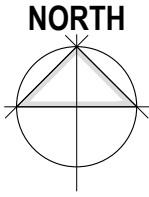
EX. GATE

EX. GATE

REPAIR CRACKED PILLAR TO EXISTING WALL; PAINT EXISTING DRY DASH WALL

REMOVE EXISTING HEDGE & CONSTRUCT NEW 1.1m HIGH BLOCKWORK WALL

PROPOSED OVERALL DEVELOPMENT SITE OUTLINED IN RED



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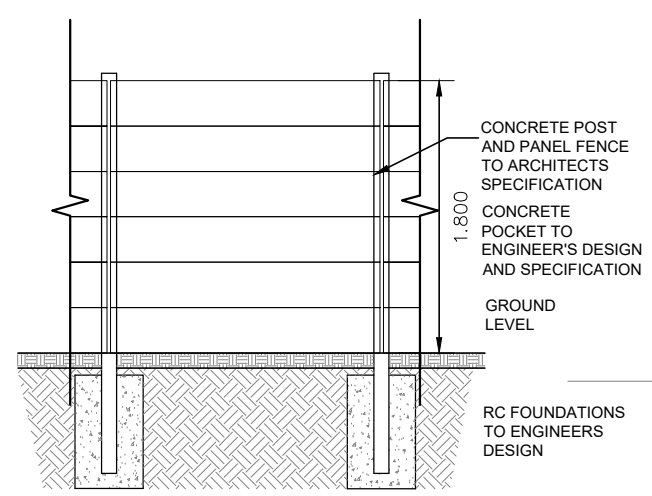
PROJECT: PROPOSED OPD's AT ST. SENAN AVENUE, EDENDERRY, Co. OFFALY
TITLE: SITE BOUNDARIES PLAN

SCALE: 1:250@A3	PROJECT No: 19-05	DRAWING No: P8-003	REVISION: --
DATE: SEP 20	DRAWN BY: EW	CHECKED: NMG	APPROVED: J.C

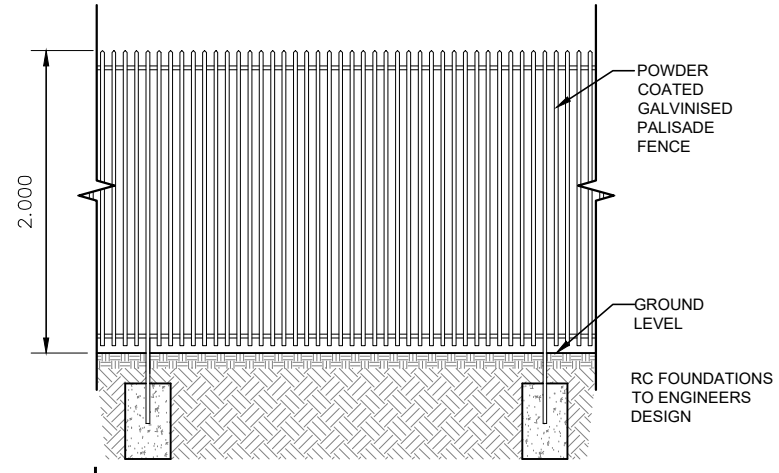
Note: This drawing should not be scaled, only figured dimensions to be used. Any discrepancies to be notified to O.C.C. immediately.

SITE LAYOUT PLAN

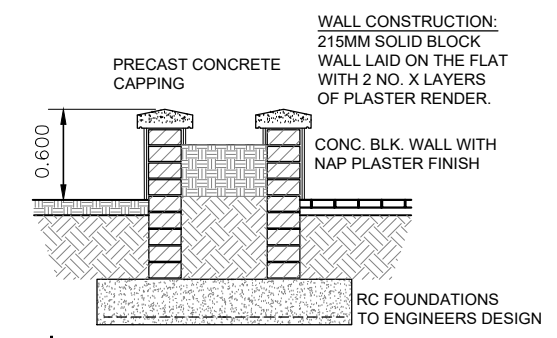
SITE AREA: 0.412 ACRES/0.167 HECTARES
OS REF: 3250-24



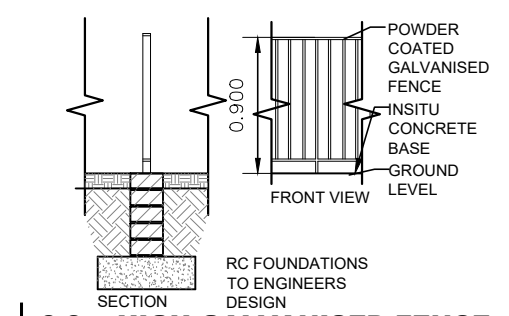
1. 1.8 m HIGH CONC. POST & PLANK
(Scale 1:50/A3)



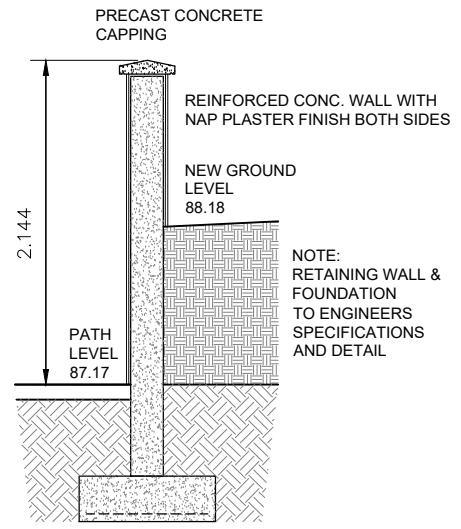
4. EXISTING 2m HIGH PALISADE FENCE
(Scale 1:50/A3)



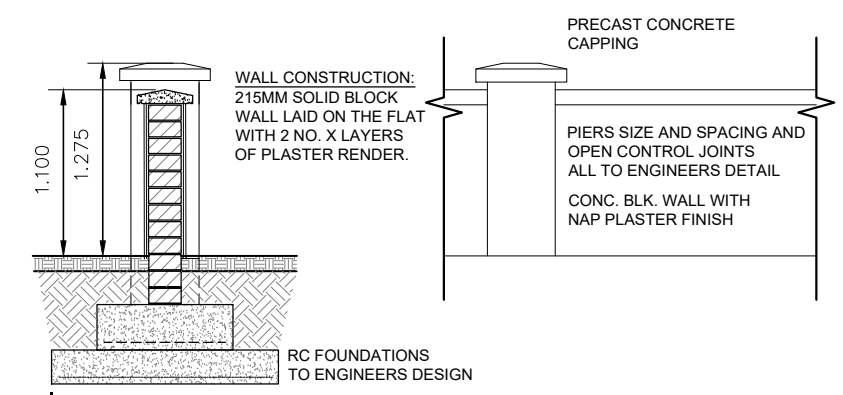
7. 0.6m HIGH 215mm BLOCK WALL TO PLANTERS
(Scale 1:50/A3)



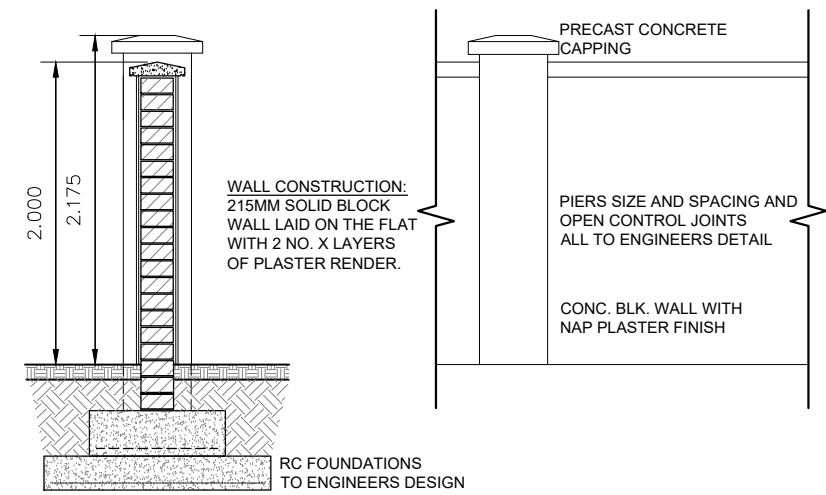
2. 0.9m HIGH GALVANISED FENCE
(Scale 1:50/A3)



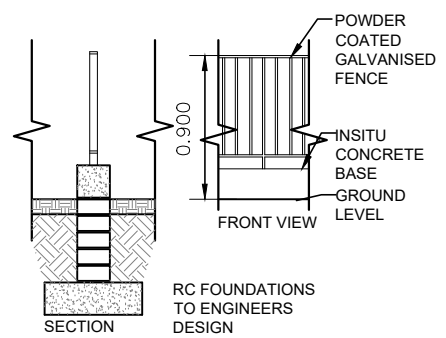
5. RETAINING WALL 1.1M HIGH FROM INSIDE
(Scale 1:50/A3)



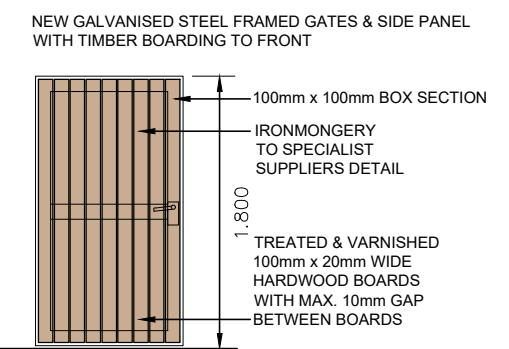
8. 1.1m HIGH 215mm BLOCK WALL WITH PIERS
(Scale 1:50/A3)



3. 2m HIGH 215mm BLOCK WALL WITH PIERS
(Scale 1:50/A3)



6. 0.750m HIGH GALVANISED FENCE
(Scale 1:50/A3)



9. TYPICAL SIDE GATE -1.8m HIGH
(Scale 1:50/A3)

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PROJECT:	PROPOSED OPD's AT ST. SENAN AVENUE, EDENDERRY, Co. OFFALY		
TITLE:	SITE BOUNDARY DETAILS		
SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:50@A3	19-05	P8-004	-
DATE:	DRAWN BY:	CHECKED:	APPROVED:
SEP 20	E.W	NMG	J.C

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LEGEND

- CONCRETE FOOTPATH
- PAVED FOOTPATH
- ASPHALT ACCESS ROAD/PARKING
- PUBLIC OPEN SPACE: 0.076 Acres/0.03 Hectares
- PRIVATE OPEN SPACE:
HOUSE 1: 53sqm
HOUSE 2: 93sqm
HOUSE 3: 85sqm
HOUSE 4: 65sqm
- SELECTION OF NATIVE TREES AND SHRUBS

PROPOSED 2.4M HIGH WELD MESH FENCE TO SHARED BOUNDARY TO NE TO PLAYING FIELD OF ST. MARY'S SCHOOL

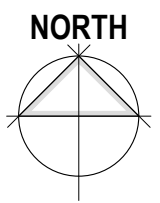
PROPOSED OVERALL DEVELOPMENT SITE OUTLINED IN RED

WIDEN EXISTING CONCRETE FOOTPATH TO 2 METRES

REPAIR CRACKED PILLAR TO EXISTING WALL; PAINT EXISTING DRY DASH WALL

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PROJECT: PROPOSED OPD's AT ST. SENAN AVENUE, EDENDERRY, Co. OFFALY

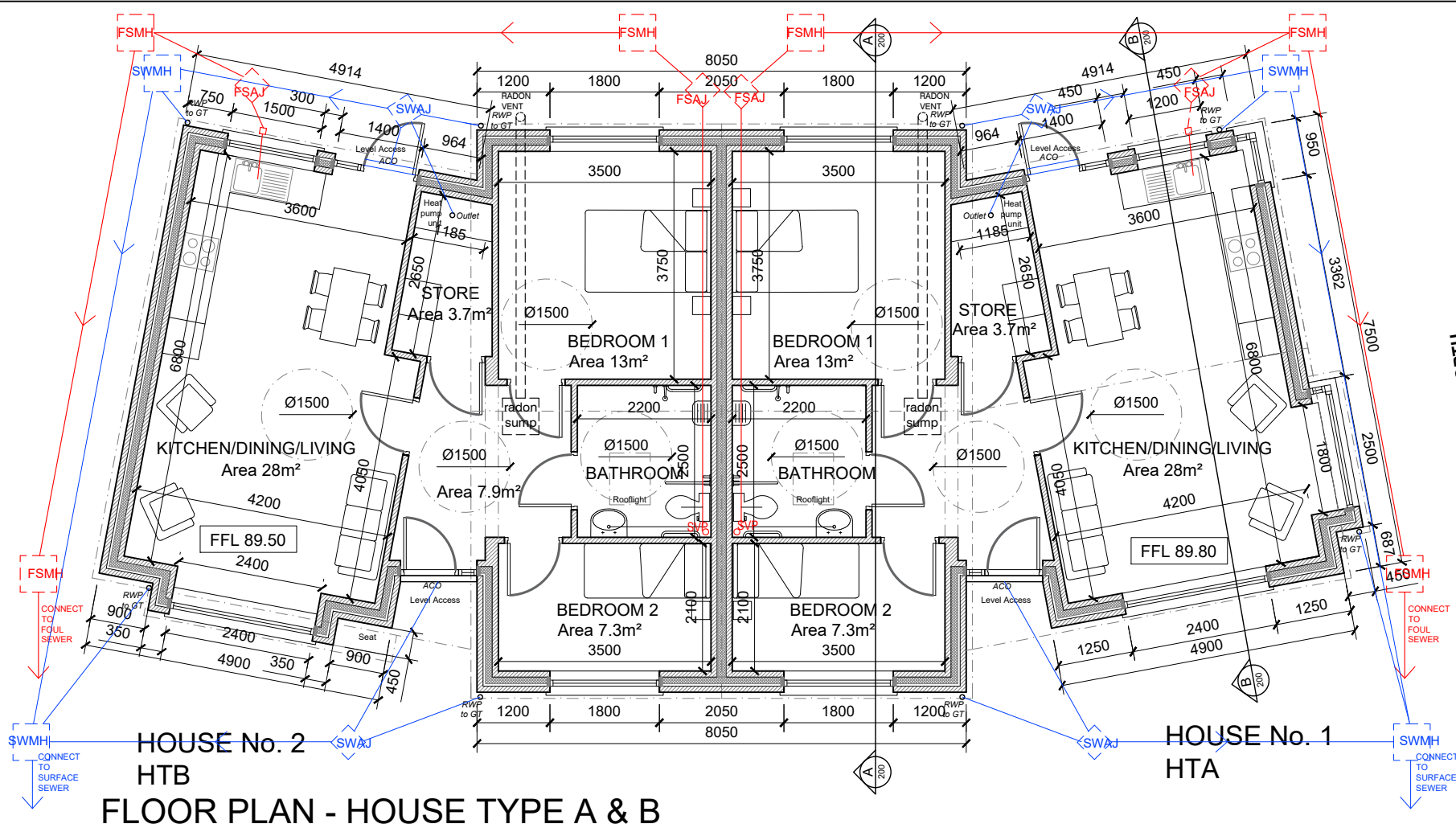
TITLE: SITE LANDSCAPE & SURFACE FINISHES

SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:250@A3	19-05	P8-005	--
DATE:	DRAWN BY:	CHECKED:	APPROVED:
SEP 20	E.W	NMG	J.C

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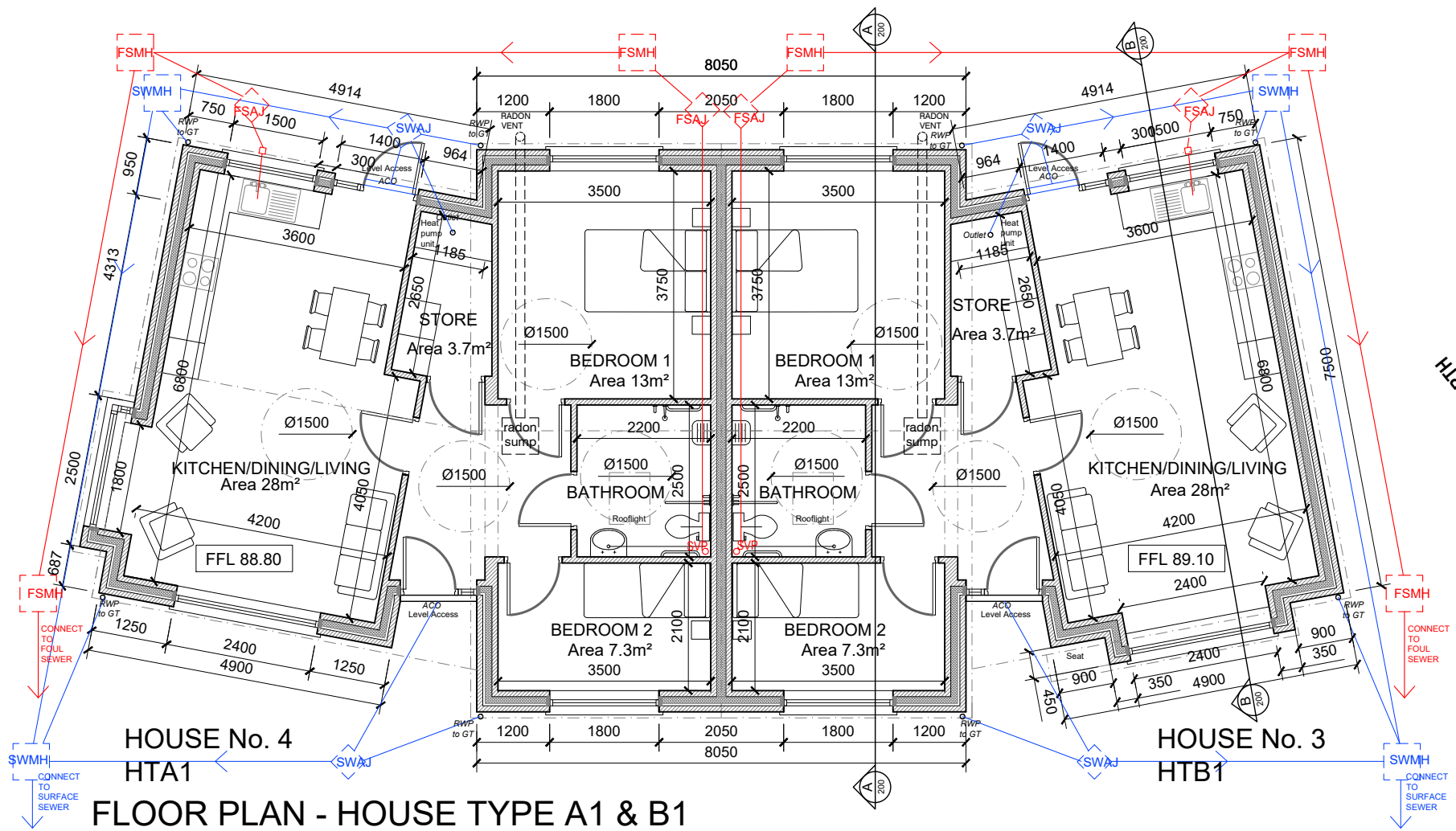
SITE LAYOUT PLAN

SITE AREA: 0.412 ACRES/0.167 HECTARES
OS REF: 3250-24



AGGREGATE FLOOR AREAS:

ROOM:	AREA:
KITCHEN/DINING/LIVING ROOM	28m ²
BEDROOM 1	13m ²
BEDROOM 2	7.3m ²
TOTAL BEDROOM AREA:	20.3m ²
STORAGE	3.7m ²
OVERALL AREA:	67.5m ²



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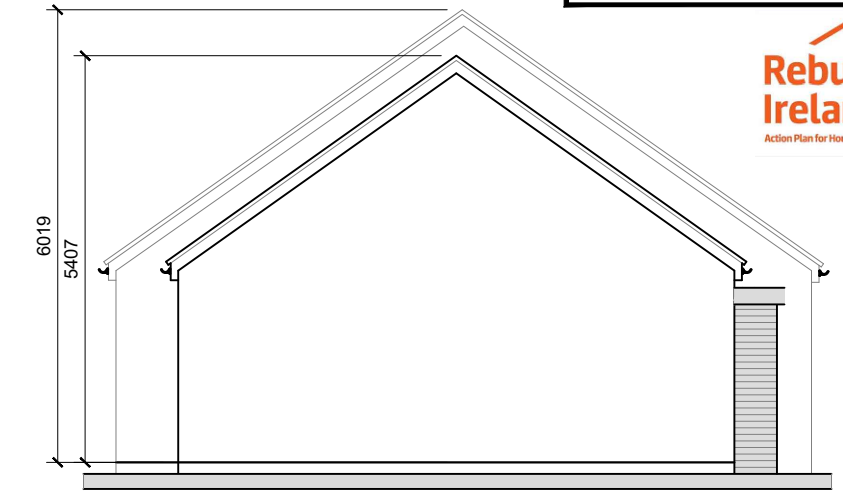
Ms. Sharon Kennedy, Director of Services

PROJECT:	PROPOSED OPD'S AT SR. SENAN AVENUE, EDENDERRY, CO. OFFALY		
TITLE:	FLOOR PLANS TYPES A & B + A1 & B1		
SCALE:	PROJECT No:	DRAWING No:	REVISION:
1:100@A3	19-05	P8-100	--
DATE:	DRAWN BY:	CHECKED:	APPROVED:
SEP 20	E.W	NMG	J.C

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REAR ELEVATION - SOUTHEAST

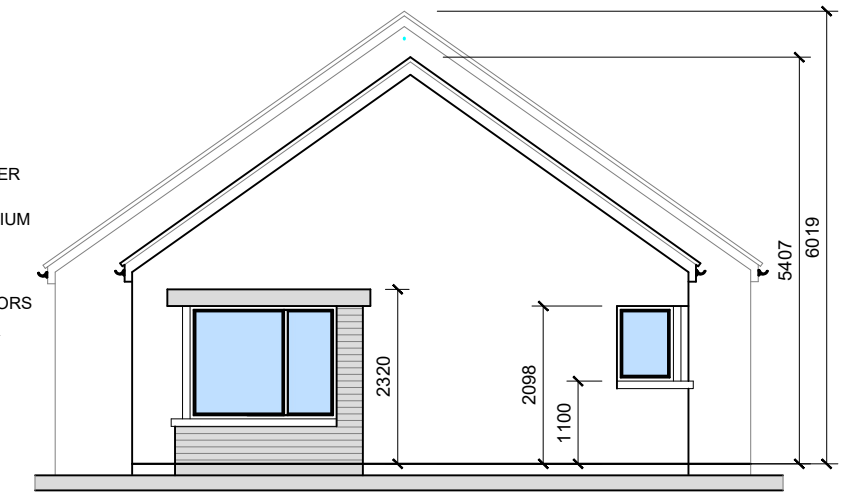


GABLE ELEVATION - NORTHEAST House 2
SHOWN STRAIGHT ON FOR CLARITY

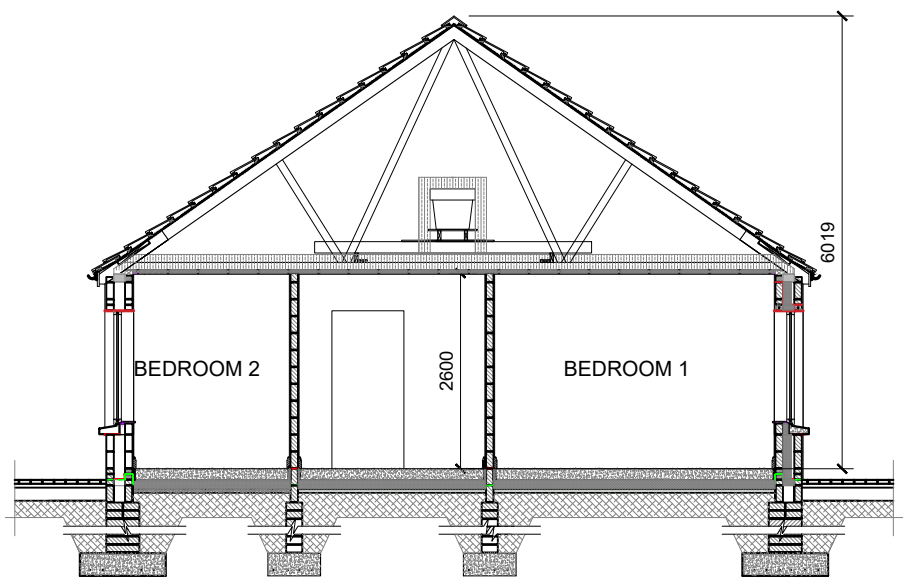


FRONT ELEVATION - NORTHWEST
HOUSE No. 2

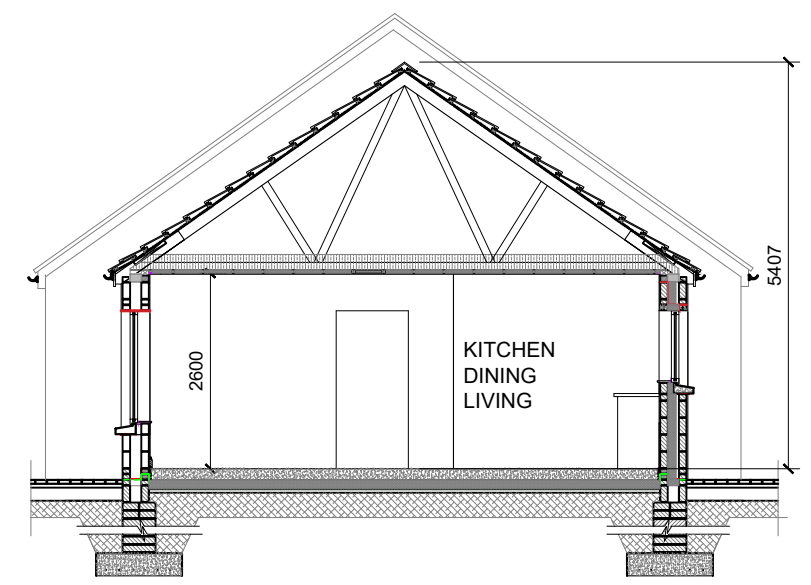
HOUSE No. 1



GABLE ELEVATION - SOUTHWEST House 1
SHOWN STRAIGHT ON FOR CLARITY



SECTION A-A



SECTION B-B

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EDENDERRY, CO. OFFALY

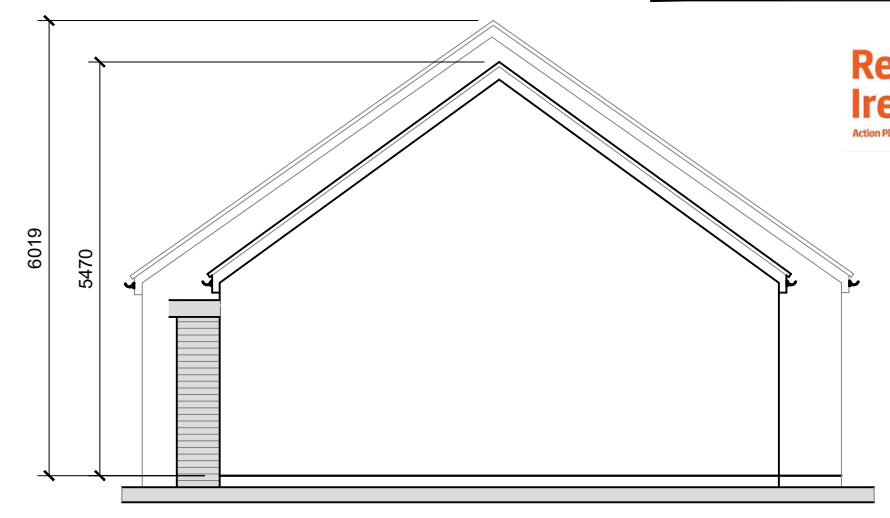
TITLE: HOUSE TYPES A & B
ELEVATIONS &
SECTION A-A & B-B

SCALE: 1:100@A3	PROJECT No: 19-05	DRAWING No: PB-200	REVISION: --
DATE: SEP 20	DRAWN BY: E.W	CHECKED: NMG	APPROVED: J.C

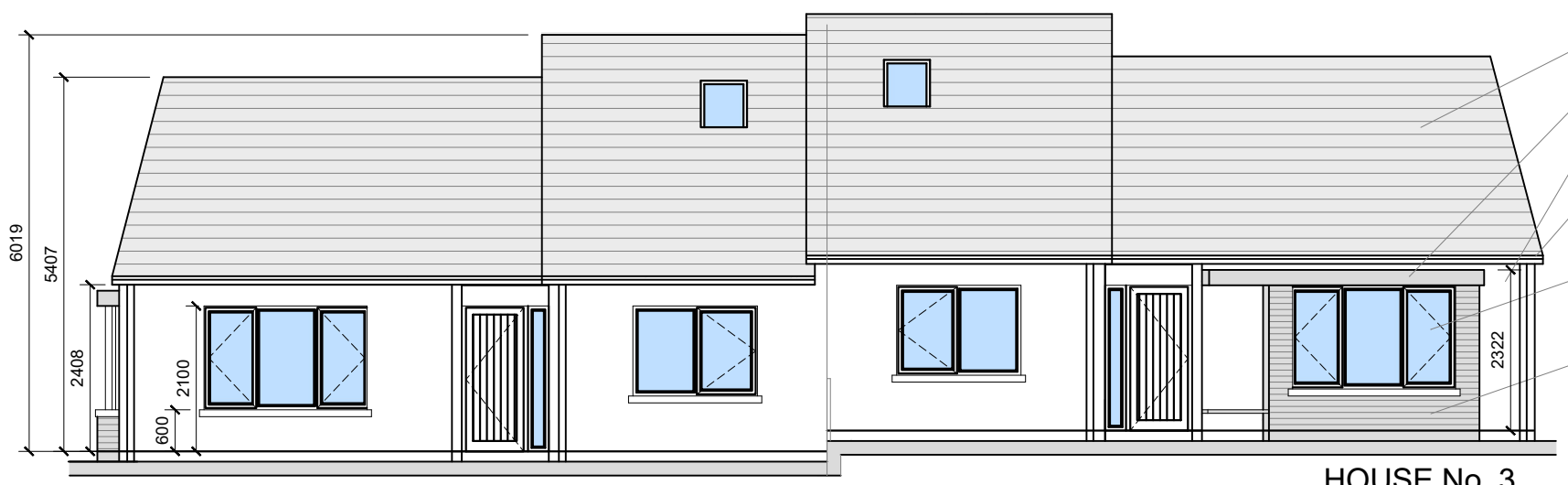
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REAR ELEVATION - SOUTHEAST



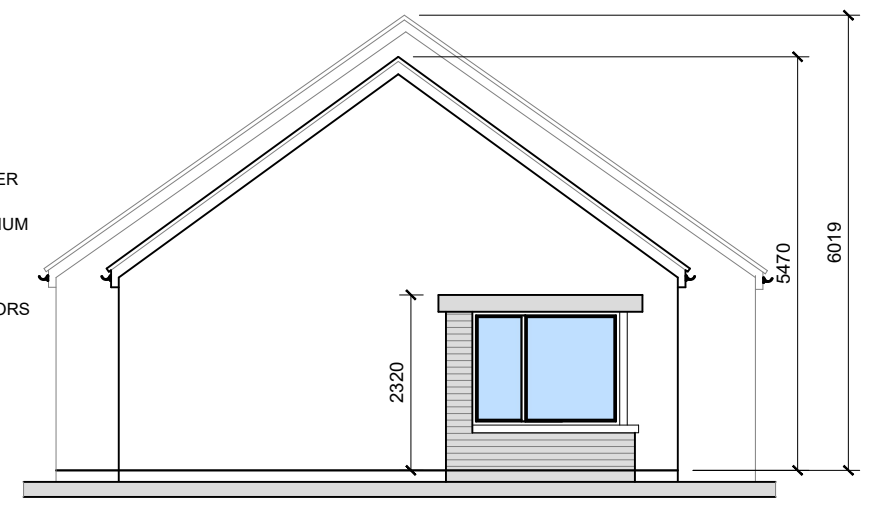
GABLE ELEVATION - NORTHEAST House 3



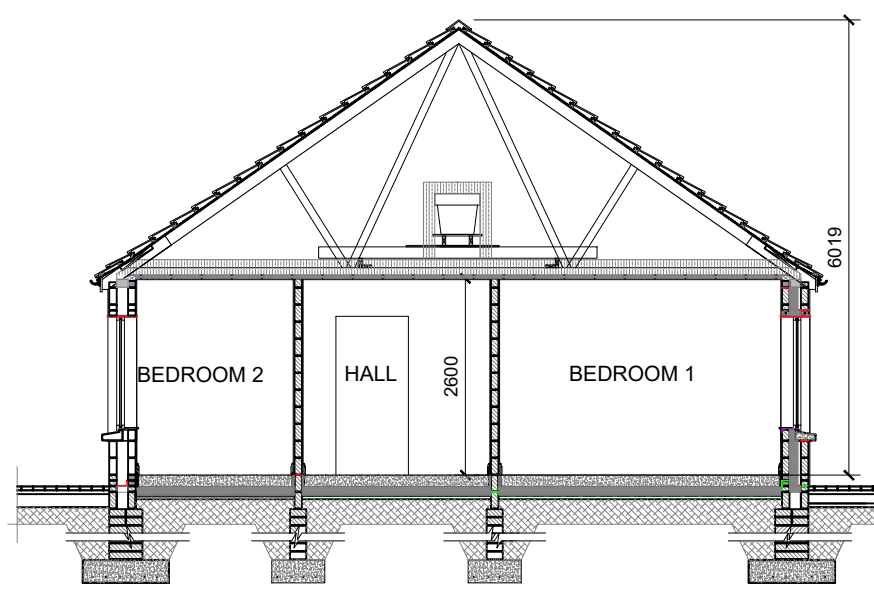
FRONT ELEVATION - NORTHWEST
HOUSE No. 4

HOUSE No. 3

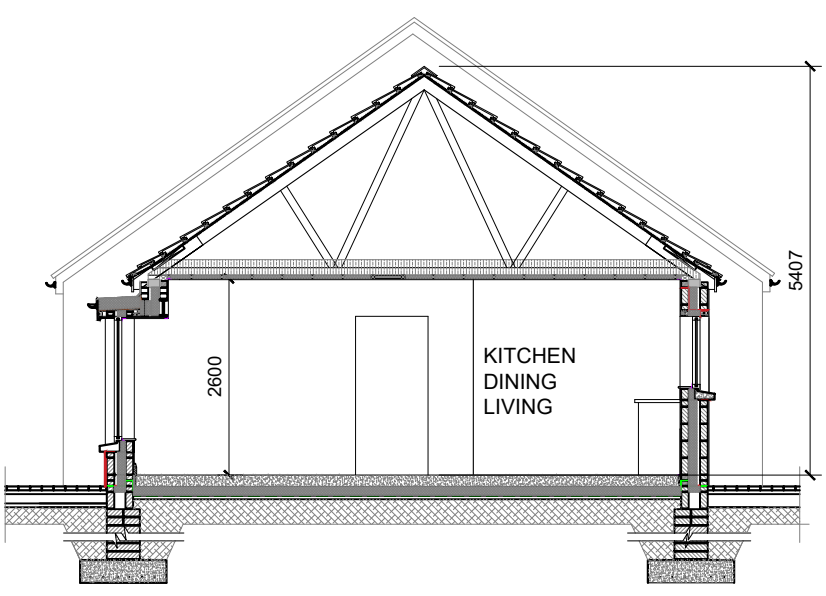
- SELECTED BLACK CONCRETE ROOF TILE
- PRESSED METAL FINISH TO CANOPY
- SELECTED COLOUR RENDER
- POWDER COATED ALUMINIUM RAINWATER GOODS
- DOUBLE GLAZED ALUCLAD WINDOWS & DOORS
- COMPOSITE FRONT DOOR
- SELECTED BRICK FINISH



GABLE ELEVATION - SOUTH House 4
SHOWN STRAIGHT ON FOR CLARITY



SECTION A-A



SECTION B-B

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☎ 057 9346800

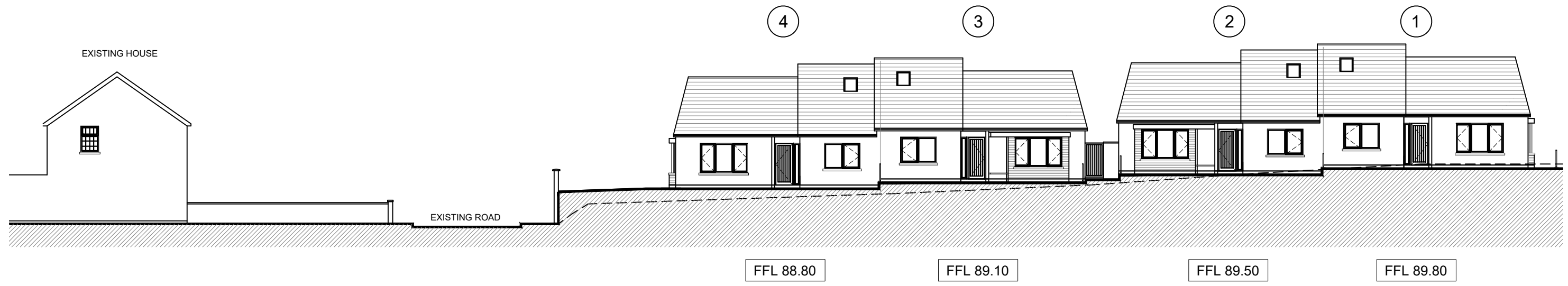
Ms. Sharon Kennedy, Director of Services

PROJECT: PROPOSED OPD'S
at SR, SENAN AVENUE,
EDENDERRY, CO. OFFALY

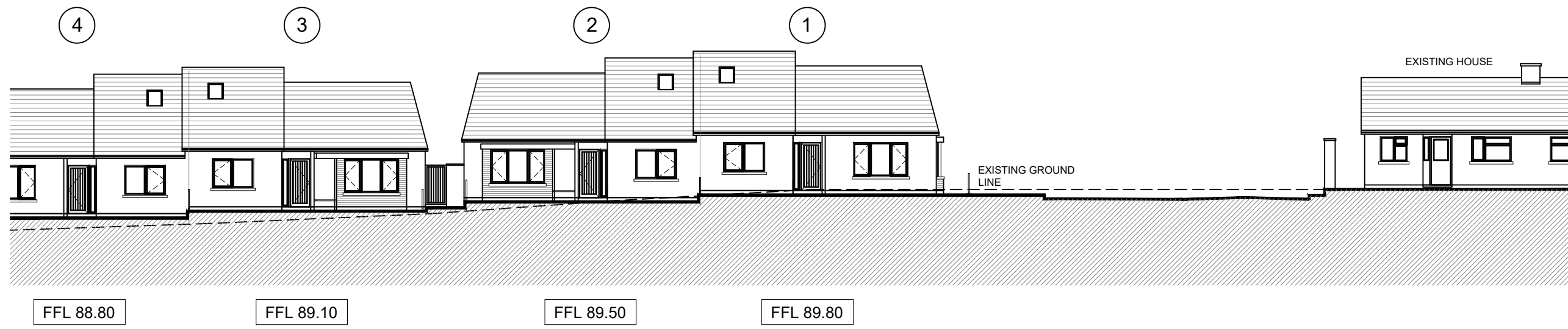
TITLE: HOUSE TYPES A1 & B1
ELEVATIONS &
SECTION A-A

SCALE: 1:100@A3	PROJECT No: 19-05	DRAWING No: P8-201	REVISION: --
DATE: SEP 20	DRAWN BY: E.W	CHECKED: NMG	APPROVED: J.C

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NORTHWEST FACING CONTIGUOUS ELEVATION. 1 - 4
SHOWN STRAIGHT ON FOR CLARITY



NORTHWEST FACING CONTIGUOUS ELEVATION. 1 - 4
SHOWN STRAIGHT ON FOR CLARITY

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☎ 057 9346800

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EDENDERRY, CO. OFFALY

TITLE: CONTIGUOUS ELEVATION

SCALE: 1:200@A3	PROJECT No: 19-05	DRAWING No: P8-202	REVISION: --
DATE: SEP 20	DRAWN BY: E.W	CHECKED: NMG	APPROVED: J.C

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